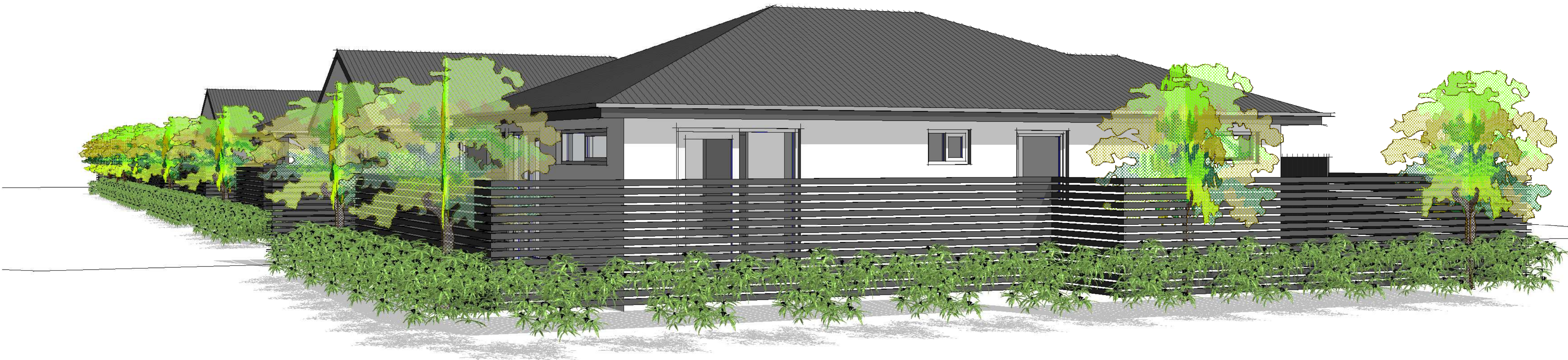


TOWN HOUSE DEVELOPMENT
26 LITHGOW STREET, GOULBURN, NSW

DA01.1	TITLE SHEET	DA20.1	EXTERNAL LIGHTING PLAN
DA02.1	SITE ANALYSIS PLAN		
DA03.1	DEMOLITION PLAN		
DA04.1	SITE PLAN		
DA05.1	LANDSCAPE PLAN		
DA06.1	GROUND FLOOR PLAN		
DA07.1	ELEVATIONS		
DA11.1	SECTIONS		
DA12.1	ISO VIEWS		
DA13.1	ISO VIEWS		
DA16.1	ROOF PLAN		
DA17.1	AREA PLANS		
DA19.1	SEDIMENT & EROSION CONTROL PLAN		

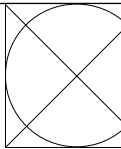


PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: TITLE SHEET

CLIENT: GOULBURN PROJECTS
PROJECT ADDRESS: 26 LITHGOW STREET, GOULBURN, NSW

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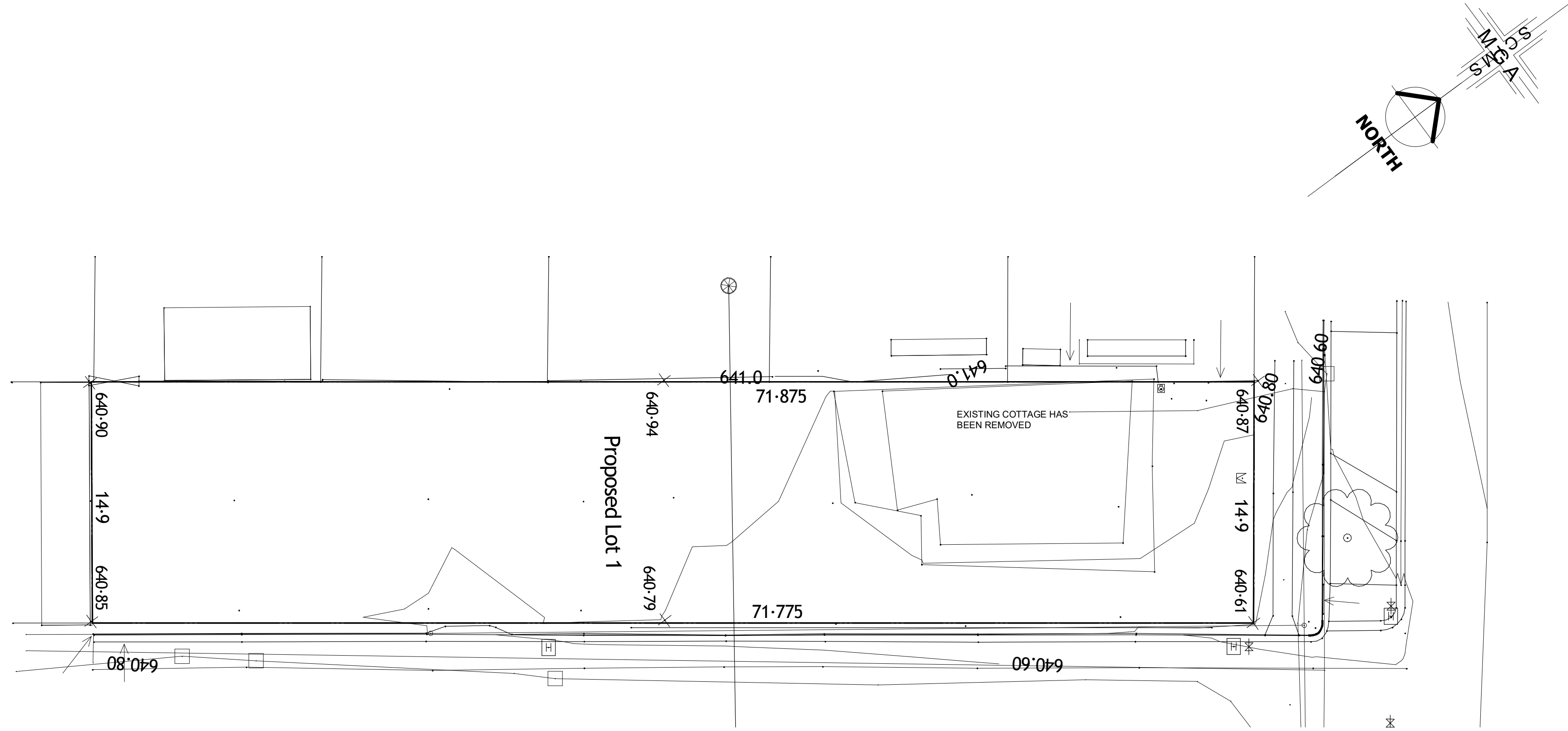


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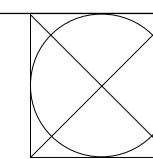
1 DEMOLITION PLAN
1 : 200

PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: DEMOLITION PLAN

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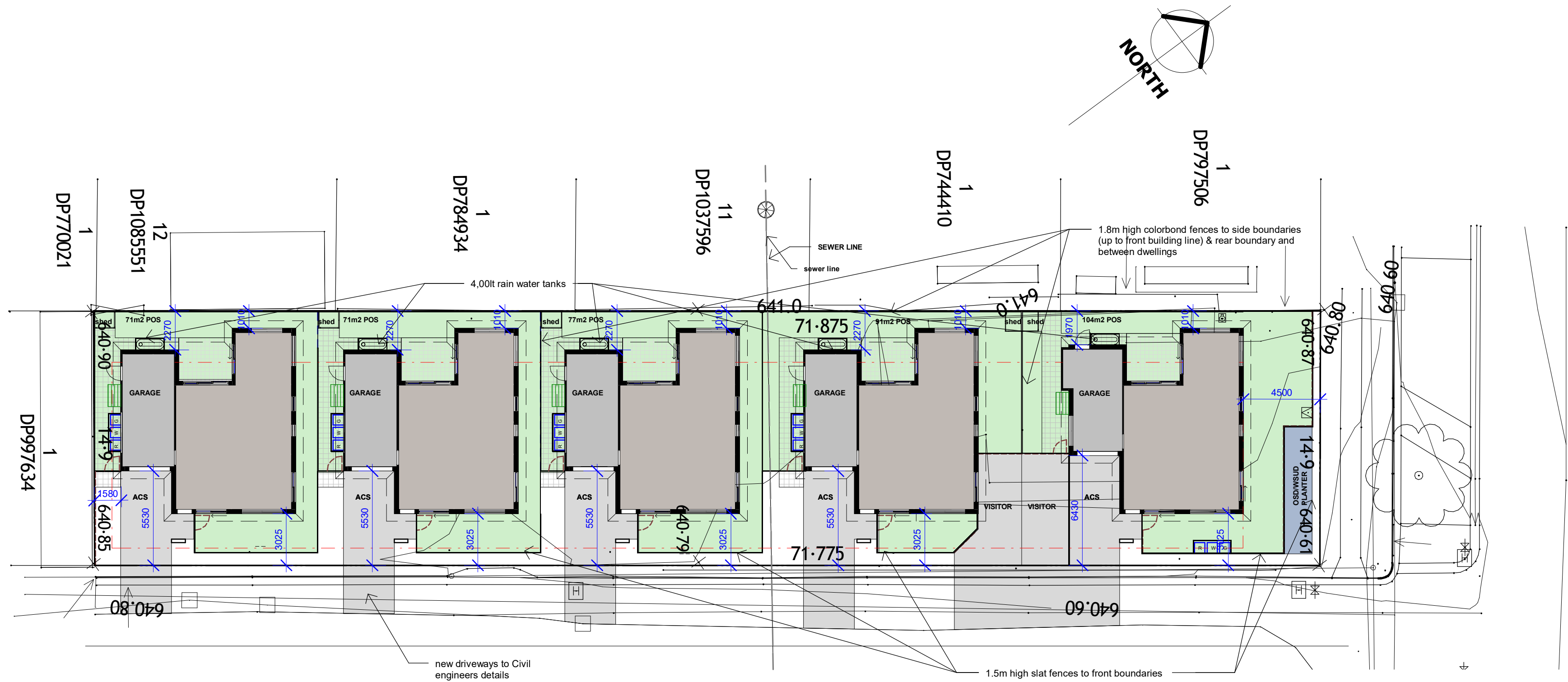
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- FENCE LEGEND
- 1.8m COLORBOND FENCE (Monument color)
 - 1.5m SLAT FENCE (Monument color)

1 SITE PLAN
1 : 200

Commitments Table

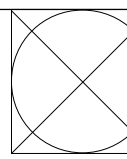
Project Details		
Proposed:	Multi Dwelling	Address: 26 Lithgow Street, Goulburn NSW 2580
Lot Number:	1	DP NUMBER: 1352794
BASIX Certificate Number: 1756731M_02		
Water	Features	Specification
	Shower head rating	3 star (> 5.5L/min)
	Toilet rating	3 star
	Kitchen taps rating	3 star
Alternative water details	Rainwater tank size	Individual 2000L
	Connected to:	Garden and lawn areas
	All toilets	Yes
	Laundry	Yes
HERA 10056 NatHERS Certificate Number: 0009626900		
Thermal Comfort	External walls	Brick veneer
	Internal walls	Cavity wall, direct fix plasterboard
	Cavity wall, direct fix plasterboard	Around garage and bath
	Cavity wall, direct fix plasterboard	No insulation
	Ceiling	External ceiling - Plasterboard
	External ceiling - Plasterboard	R5.0 Bulk insulation
	Roof	Corrugated iron
	Roof	Dark Colour (solar absorbance <0.70)
	Roof	R1.8 Bulk + Reflective side down, No air gap above (Anticon 75, 80mm)
	Floors	Concrete slab on ground
	Concrete slab on ground	Concrete slab on ground
	Garage	No insulation
	Windows	(NSW BASIX Thermal Protocol allows for a 10% tolerance of SHGC Value & U Value <= (than which overrides NatHERS Certificate)
	Aluminum frame ALM-002-01	Single Clear glazing with U-value 6.7 and SHGC 0.7 for Group B windows (double hung, fixed, louvers and sliding type windows/doors)
Energy	Aluminum frame ALM-004-03	Double air-fill low-e glazing with U-value 4.3 and SHGC 0.53 for Group B windows (double hung, fixed, louvers and sliding type windows/doors)
	Aluminum frame ALM-006-03	Double argon-fill low-e glazing with U-value 4.1 and SHGC 0.52 for Group B windows (double hung, fixed, louvers and sliding type windows/doors)
	Skylights	Double Glazed Skylight
	Ceiling Penetrations	Approved fireproof downlight covers must be installed to all downlights in ceilings where insulation is installed.
	Lighting specification	Dwelling is rated with Assumed downlight as per NatHERS Tech Note "Ceiling Penetrations 9.4 to 9.8"
	Ceiling fans	No ceiling fans need to be installed
	Overhanging details	Adjoining units calculated into model calculations
	Site	Orientation of nominal north elevation
	Site	As shown on plans
	* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration.	
	Hot water	Individual system
	Individual system	Gas instantaneous
	Gas instantaneous	7 star
	Ventilation	Individual fan, not ducted
	Bathroom exhaust	Control switch
	Kitchen exhaust	Manual switch on/off
	Control switch	Individual fan, not ducted
	Laundry	Manual switch on/off
	Control switch	Individual fan, not ducted
	Manual switch on/off	Manual switch on/off
Energy	Cooling	Individual systems - living areas
	Individual systems - living areas	1-phase airconditioning
	Individual systems - bedroom areas	1-phase airconditioning
	Individual systems - bedroom areas	EER > 4.0
	Heating	Individual systems - living areas
	Individual systems - living areas	1-phase airconditioning
	Individual systems - bedroom areas	1-phase airconditioning
	Individual systems - bedroom areas	EER > 4.0
	Lighting	Refer to NatHERS Certificate
	Lighting	Light-emitting diode (LED)
	Appliances	Cooktop/oven
	Cooktop/oven	Gas cooktop & electric oven
	Private outdoor clothes drying line	Yes
	Private indoor or sheltered clothes drying line	No
	Alternative Energy	Photovoltaic System (Minimum)
	Photovoltaic System (Minimum)	Peak kW
	Photovoltaic System (Minimum)	N/A

PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: SITE PLAN

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Trident Maple



Japanese Maple



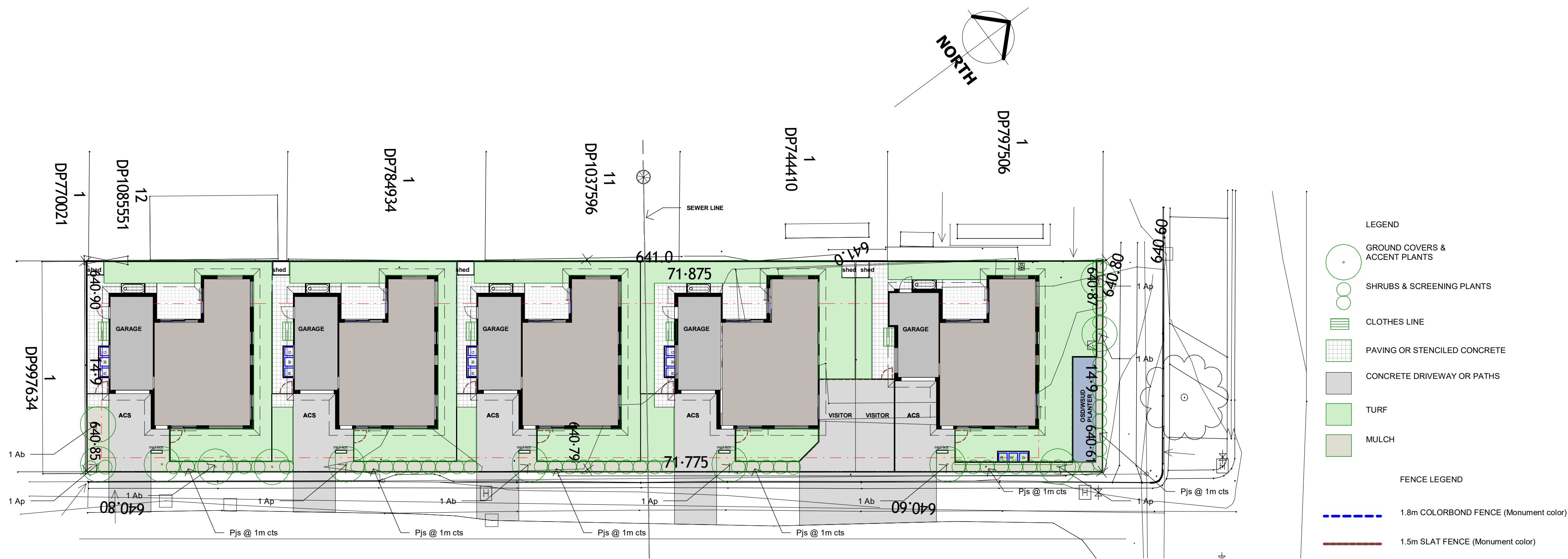
Pittosporum

PLANT SCHEDULE

Plant Schedule			
Trees to be semi-mature stock			
Code	Name	Common	Pot Size (mm)
Ap	Acer palmatum 'Sango Kaku'	Japanese Maple	140mm
Ab	Acer Buergersanum	Trident Maple	140mm
Shrubs and Groundcovers			
Pjs	Pittosporum 'James Stirling'	Pittosporum	140mm

LANDSCAPE NOTES

Landscape work to be in accordance to current landscape guidelines and the author's specification for roads, hydraulics and landscape 1997, and corrigenda 1-42, in particular:
- The retention of existing trees to be maintained
- The removal of existing trees and other debris to be removed as the site, shall be eradicated before the commencement of landscape works.
- Make good any damage to disturbed areas and include all obvious work.
- Strip and stockpile any top soil as directed by the superintendent.
- The contractor shall confirm the location of all services with the relevant authorities prior to earthworks and planting.
- Retain and provide to council of access to all services with layout and location as recommended by the plant supplier and topped with road to 500mm min. depth.
- Resurfacing areas to be marked garden beds (MG)
- Subgrade earthworks: form and finish site to form aggregate levels
- Cultivation & prepare: remove all garden waste to 500mm depth
- Topsoil: garden areas: spread subsoil to top of with 20% spent saw residue thoroughly mixed prior to spreading to 500mm depth until surface are exhausted, then supply and spread top 5% topsoil to finish to top of garden beds to 200mm depth topped with 100mm of subsoil to 500mm depth. Then supply and spread top 5% topsoil to finish to top of garden beds to 200mm depth topped with 100mm of subsoil to 500mm depth.
- Planting: supply and plant as per schedule. Fertilise all plants with 50gms per plant of phosphate 'concrete' at time of planting. Excavate planting hole 100mm wider and deeper than pot.
- Stake all plants to be planted with support stakes.
- Stake all shrubs and trees with 100x50x50mm hardwood stakes embedded 600mm, 100mm away from trunk. Where support is necessary, tie trunk to stake with 2 no. 50mm wide support ties. Tie to be in ground for 100mm.
- Mulching: supply and plant 75mm 'cane forest floor' mulch to all garden areas. Form 1000mm dia mulched watering basins to all trees in dry grass.
- Water: Dryland Draining: cultivate, topsoil, prepare for and sow dryland grass mix type 'c' spread between 1st row mulch, and fertilise.
- Consultation: plants to be 13 weeks.



1 LANDSCAPE PLAN
1 : 200

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ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: LANDSCAPE PLAN

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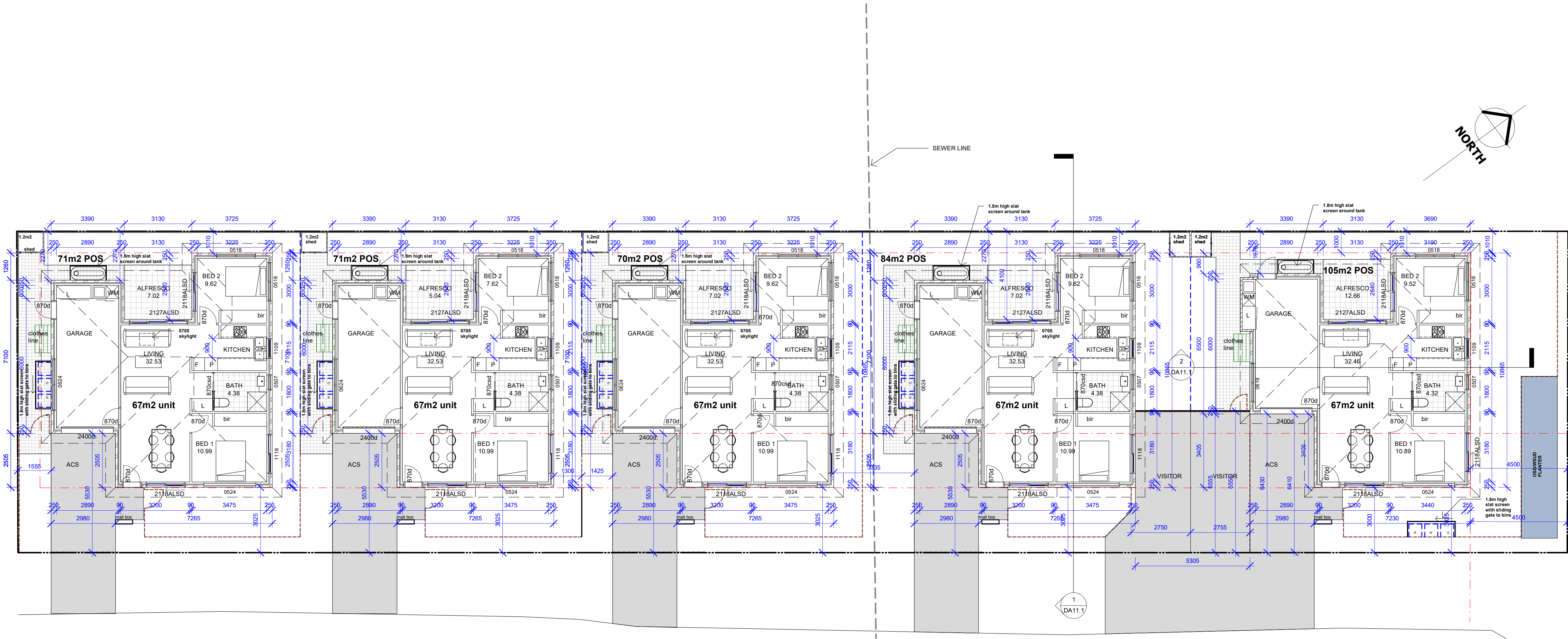
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1 GROUND FLOOR PLAN
1 : 100

FENCE LEGEND

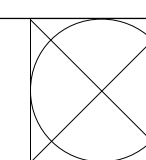
- 1.8m COLORBOND FENCE (Monument color)
- 1.5m SLAT FENCE (Monument color)

PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: GROUND FLOOR PLAN

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COLOUR SCHEDULE

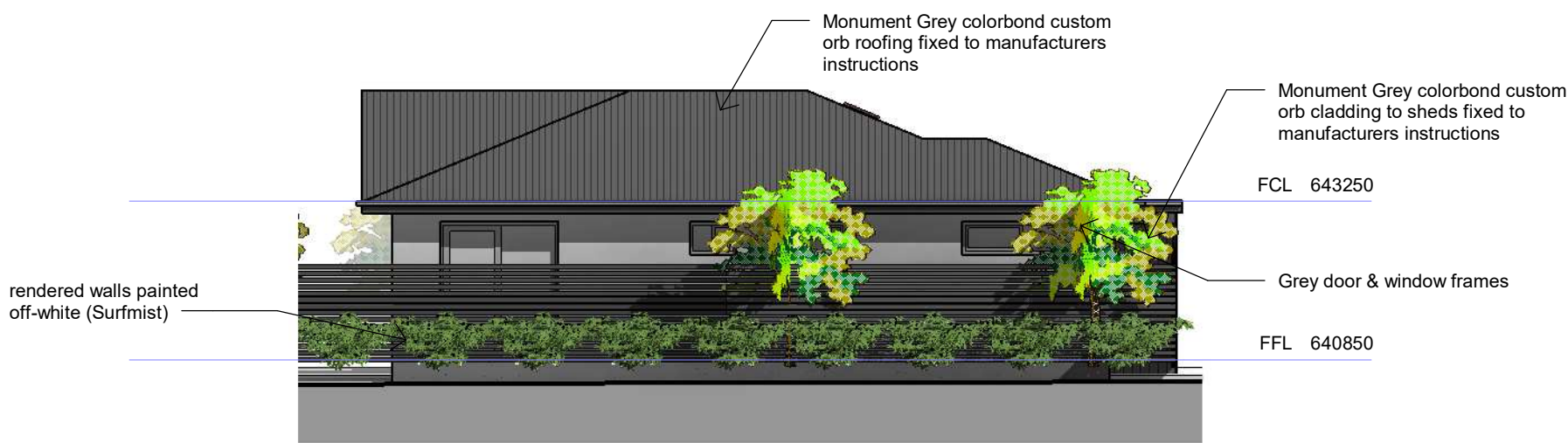
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RENDER PAINTED CHARCOAL GREY (MONUMENT)

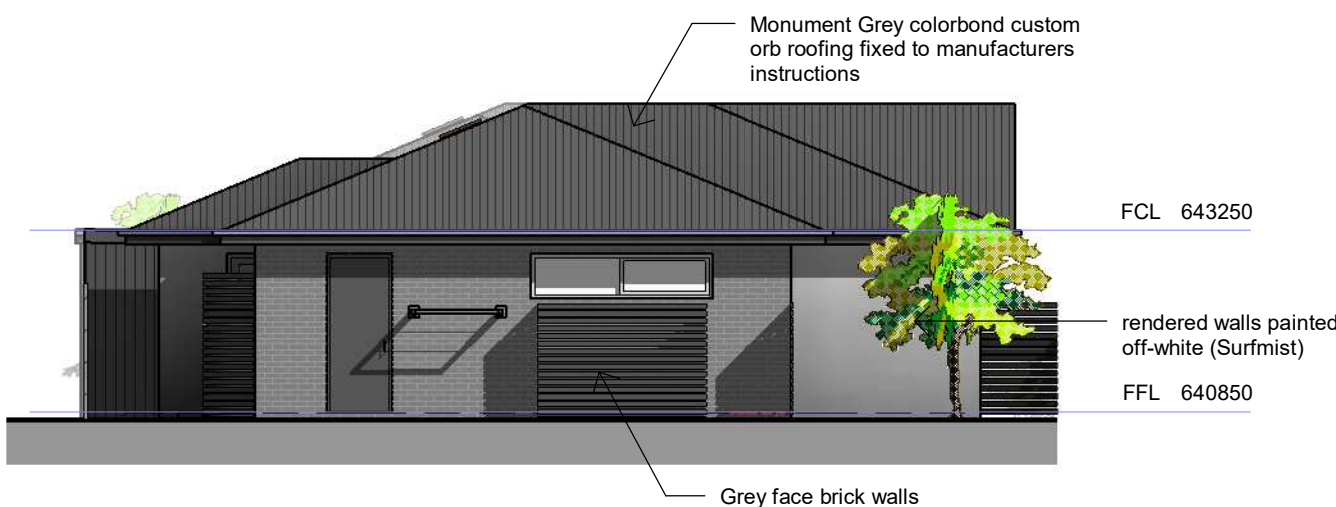
GREY FACE BRICK

MONUMENT GREY METAL ROOF/GUTTER CLADDING
MONUMENT GREY FEATURE WALL & SHED CLADDING

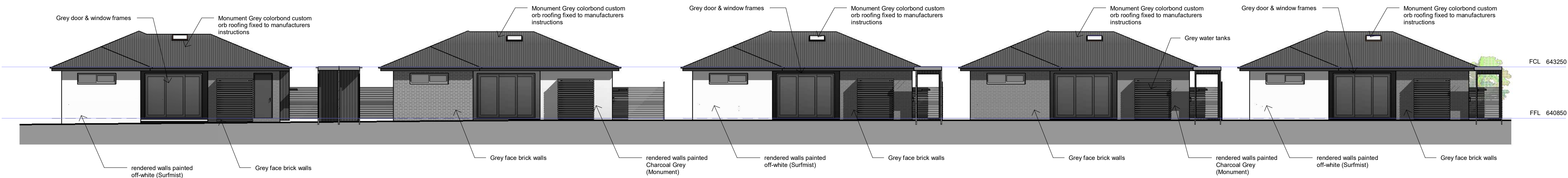
Colour Schedule
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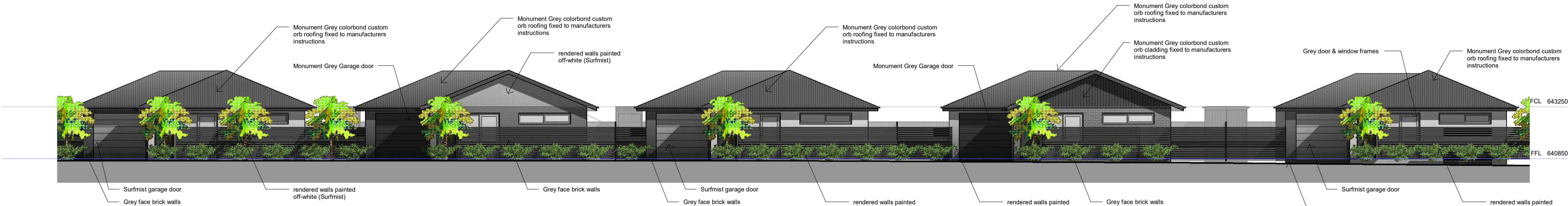
1 NORTH EAST ELEVATION
1 : 100



2 SOUTH WEST ELEVATION
1 : 100



3 NORTH WEST ELEVATION
1 : 100



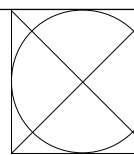
4 SOUTH EAST ELEVATION
1 : 100

PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: ELEVATIONS

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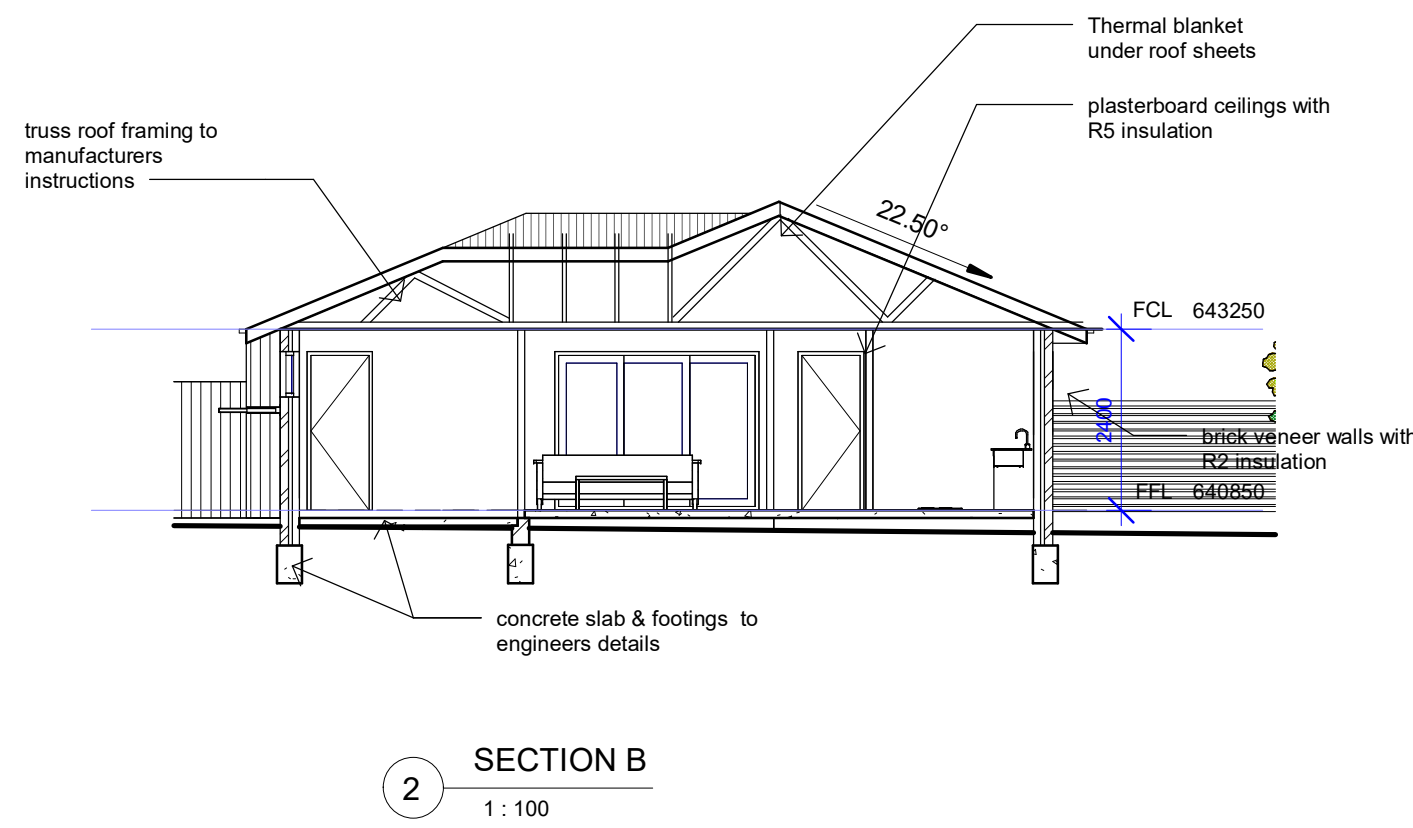
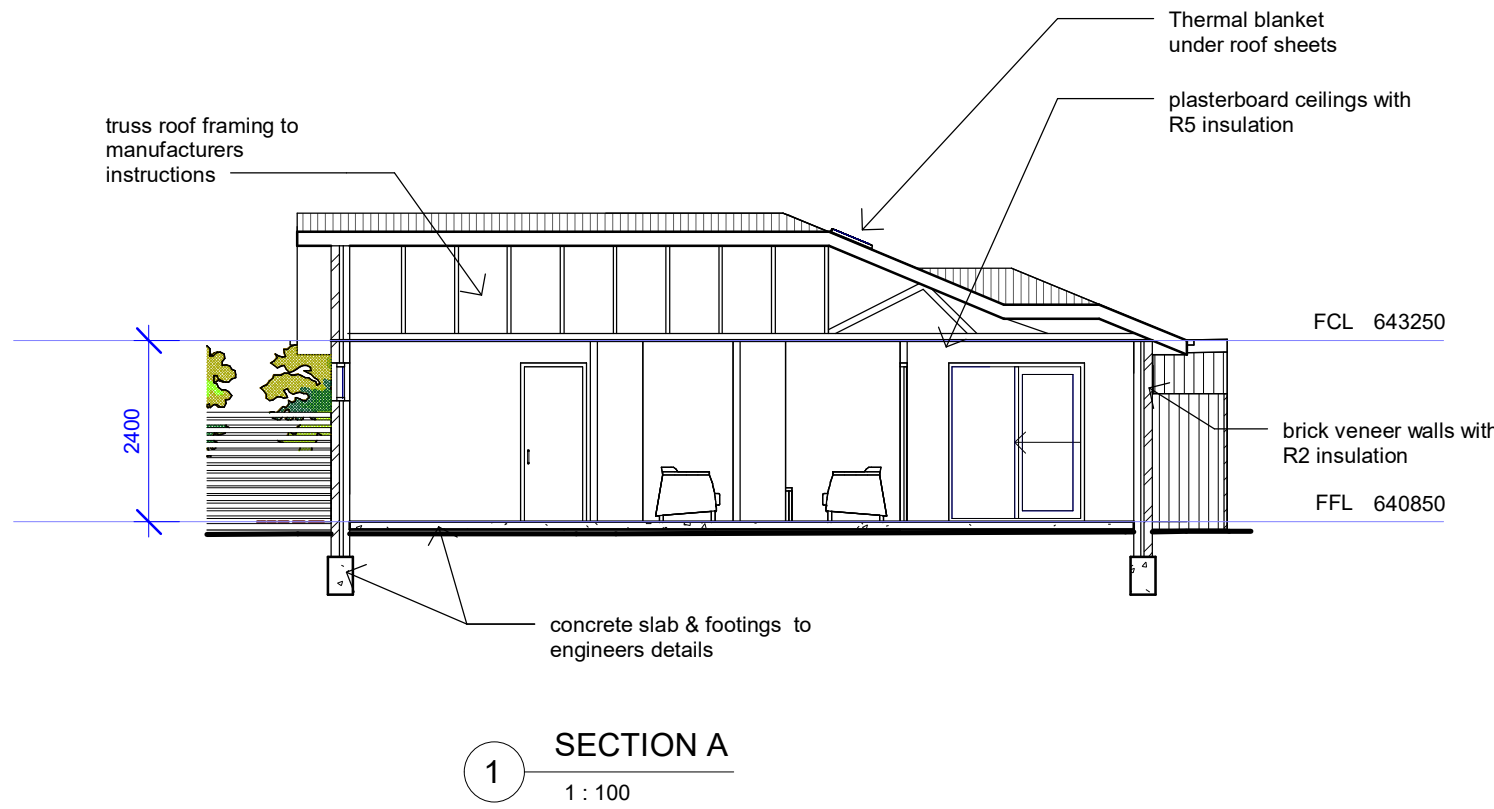
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NOTES & GENERAL CONDITIONS

ALL CONSTRUCTION IN ACCORDANCE WITH BCA AND RELEVANT SAA CODES

COMPLETE THE WORKS WITHIN THE CONTRACT PERIOD IN ACCORDANCE WITH THE DRAWINGS.

COMPLY WITH REGULATIONS AND BY-LAWS OF AUTHORITIES WITH JURISDICTION OVER THE WORKS AND INCLUDING THOSE RELATING TO WATER SUPPLY, GAS, SEWERAGE, HEALTH AND ELECTRICITY. GIVE ALL NOTICES AND PAY ALL FEES REQUIRED BY THE AUTHORITIES.

WORK SHOWN OR DESCRIBED ON THE DRAWINGS OR IN THE SCHEDULE IS TO BE CARRIED OUT WHETHER DRAWN AND NOT SPECIFIED OR VICE VERSA. THE REQUIREMENTS OF REGULATIONS TAKE PRECEDENCE OVER THE DRAWINGS. DETAIL DRAWINGS TAKE PRECEDENCE OVER GENERAL DRAWINGS.

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS, PRODUCING SHOP DRAWINGS OR FABRICATING COMPONENTS. REPORT ANY DISCREPANCIES TO ARCHITECT FOR DECISION BEFORE PROCEEDING WITH WORK.

WRITTEN DIMENSIONS ARE IN MILLIMETERS AND TAKE PRECEDENCE OVER SCALED ONES

BUILDER TO CHECK WINDOW DIMENSIONS BEFORE ORDERING

GROUND LINES SHOWN ARE INDICATIVE ONLY AND SHOULD BE VERIFIED ON SITE

LINTELS TO TRUSS MANUFACTURERS TABLES, NEW TIMBER ROOF TRUSSES TO MANUFACTURER'S SPECIFICATION.

CONCRETE SLABS AND FOOTINGS TO AS. 2870-1998 ENGINEERING OPTION ADOPTED. ALL FOOTINGS TO BE TAKEN DOWN TO SOLID GROUND. TERMITE PROTECTION TO COMPLY WITH AS. 1694 'PHYSICAL BARRIERS' & AS. 3660 'APPENDIX D' AND TO ACT BUILDING CONTROL BUILDING NOTE NO.3, FRAMING TO AS. 1684-1992 'NATIONAL TIMBER FRAMING CODE' AND SUPPLEMENTS. HARDWOOD TO AS.3000, BRICKWORK TO AS.3700 'SAA MASONRY CODE' AND AS.1640 'SAA BRICKWORK CODE'. STRUCTURAL STEEL TO AS.1170 & AS.4100, SMOKE ALARMS TO AS.3786, WET SEAL TO AS.3740, PLUMBING TO AS3500.

STEEL FRAMED DOORS & WINDOWS TO AUSTRALIAN STANDARDS. USE STANDARD SIZED DOORS WHERE POSSIBLE

ENGINEERING DOCUMENTATION TAKES PRECEDENCE OVER ARCHITECTURAL STRUCTURAL SIZINGS.

GRADE SITES TO ALLOW FOR SURFACE DRAINAGE

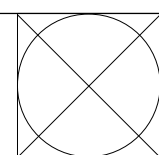
SMOKE ALARMS CONNECTED TO MAINS POWER SUPPLY, WITH BATTERY BACKUP, ARE TO BE INSTALLED IN ACCORDANCE WITH AS 3786-1993

PROJECT: **MULTI UNIT DEVELOPMENT**
ISSUE: **DEVELOPMENT APPLICATION**
DRAWING TITLE: **SECTIONS**

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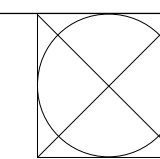


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ISSUE: **DEVELOPMENT APPLICATION**
DRAWING TITLE: **ISO VIEWS**

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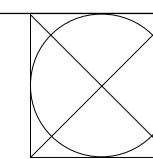


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DRAWING TITLE: **ISO VIEWS**

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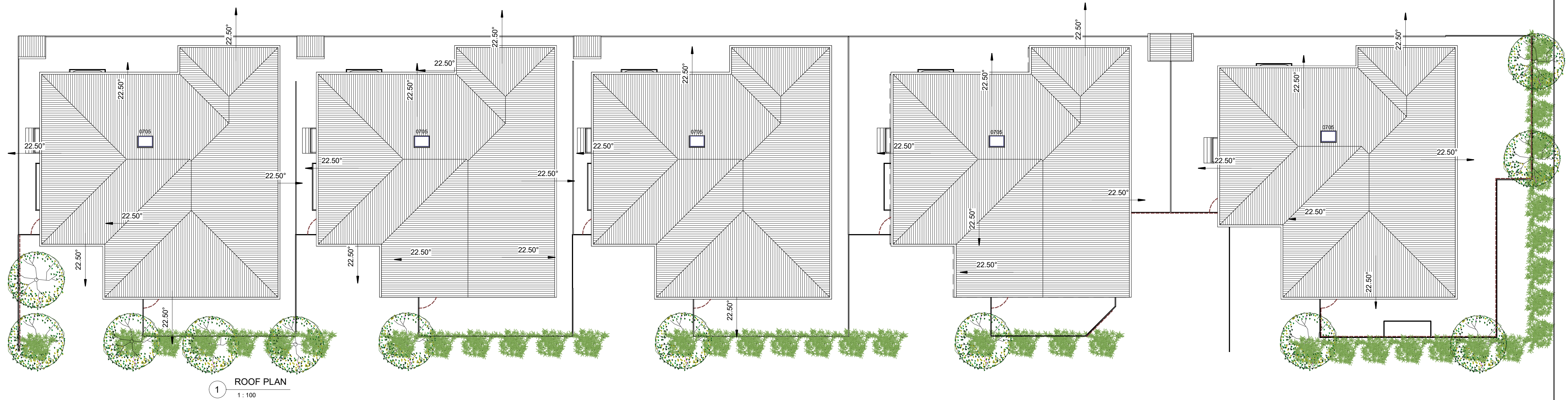


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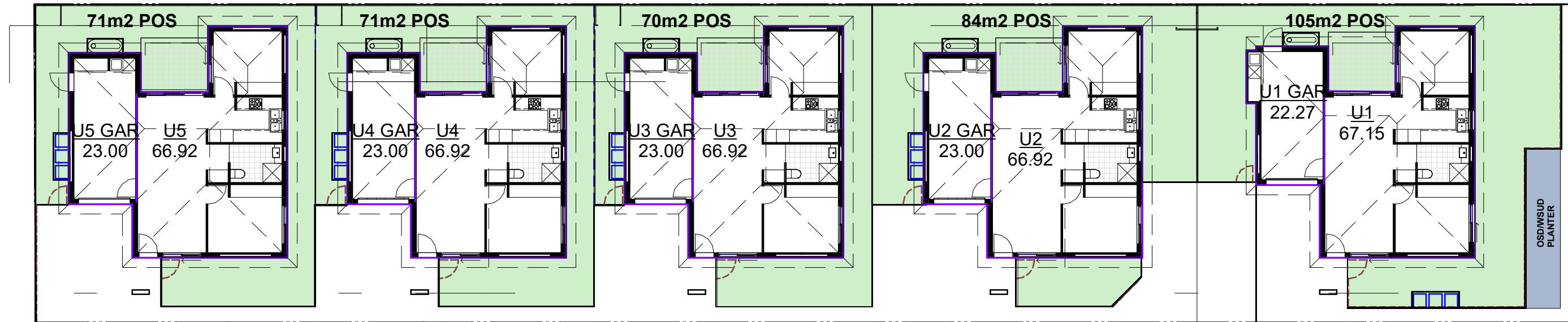
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SITE AREA = 1070m2

Area Schedule (Gross Building)		
Name		Area
U1		67.15
U1 GAR		22.27
U2		66.92
U2 GAR		23.00
U3		66.92
U3 GAR		23.00
U4		66.92
U4 GAR		23.00
U5		66.92
U5 GAR		23.00
Grand total: 10		449.12



1 FFL
1:200

PROJECT: MULTI UNIT DEVELOPMENT

ISSUE: DEVELOPMENT APPLICATION

DRAWING TITLE: AREA PLANS

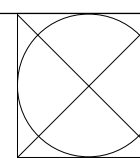
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DWG NO: DA17.1



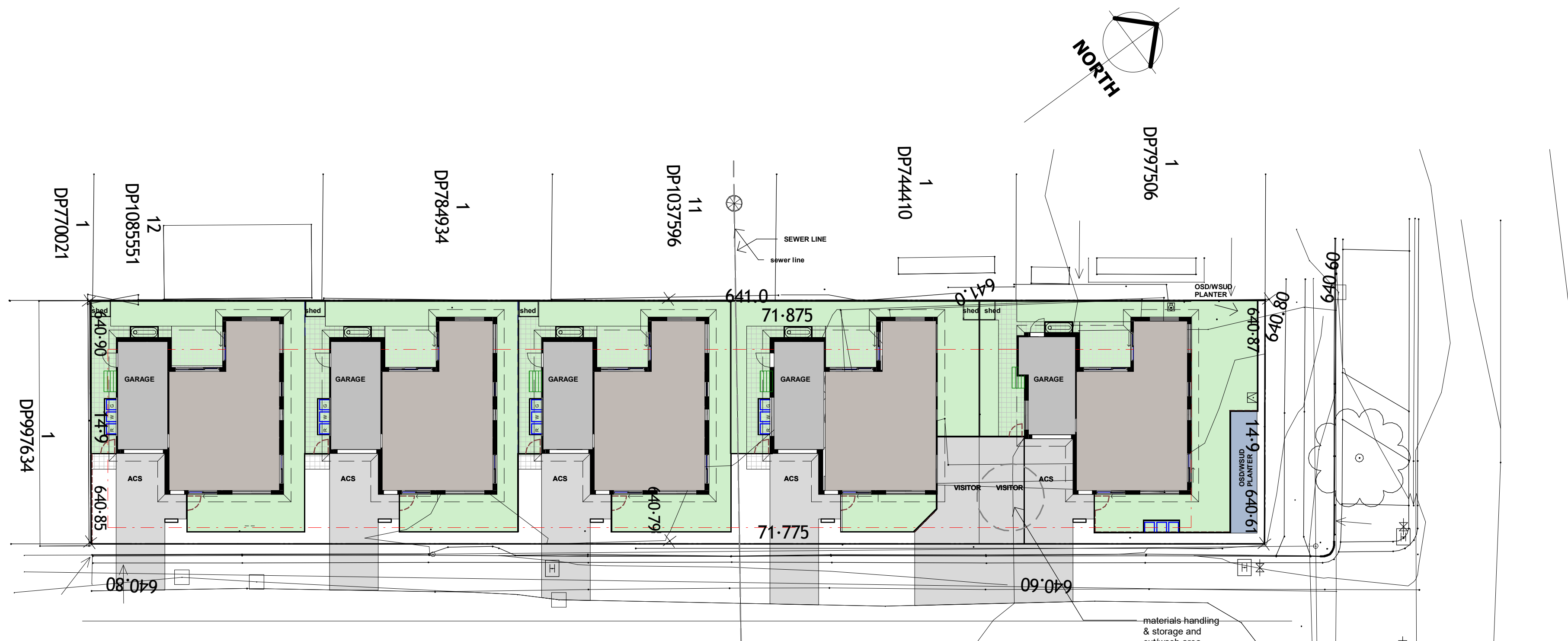
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SEDIMENT CONTROL NOTES

1. Provide Sediment and erosion control barriers as shown.
2. Stock pile/s to be located away from drainage lines and surface flow paths, contoured striations or furrows to be provided to stock piles to minimize erosion.
3. Stabilised construction entrance to be constructed prior to access to site by construction vehicles. Aggregate to be turned when sediment builds up.
4. Where storm water drainage is installed to internal roadwork's, provide graded sump filter in accordance with given detail.
5. Average existing site slope is : Less than 5% - sediment control barrier not required
6. Total site area is : 1070 m²
7. Builder is to establish a maintenance program for sediment & Erosion control devices to ensure inspection after significant rainfall and that any repairs necessary are quickly attended to.
8. Environment protection agreement to be taken out by building contractor with Environment Protection Authority. .
9. All new construction work must be contained within the site except for approved service connections and roadwork's or noted explicitly on documentation.
10. Limit access to site during and immediately after wet weather.
11. Regularly remove any soil from roads adjacent to the site.
12. No storage or construction materials, parking of vehicles nor equipment permitted outside of blocks without Authority approval.
13. No site sheds, storage sheds, site amenities to be erected outside of blocks without Authority approval.
14. Provide kerbside filter roll to existing sumps.
15. Kerbside filter rolls to be removed, cleaned and reinstated on a weekly basis at a minimum. Trapped sediment about sumps also to be removed, cleaning is also to take place immediately after periods of rainfall during construction.
16. All service trenches to be back filled within 24 hours of inspection.
17. Excess soil is to be disposed at an approved location.

1 SEDIMENT & EROSION CONTROL PLAN
1 : 200